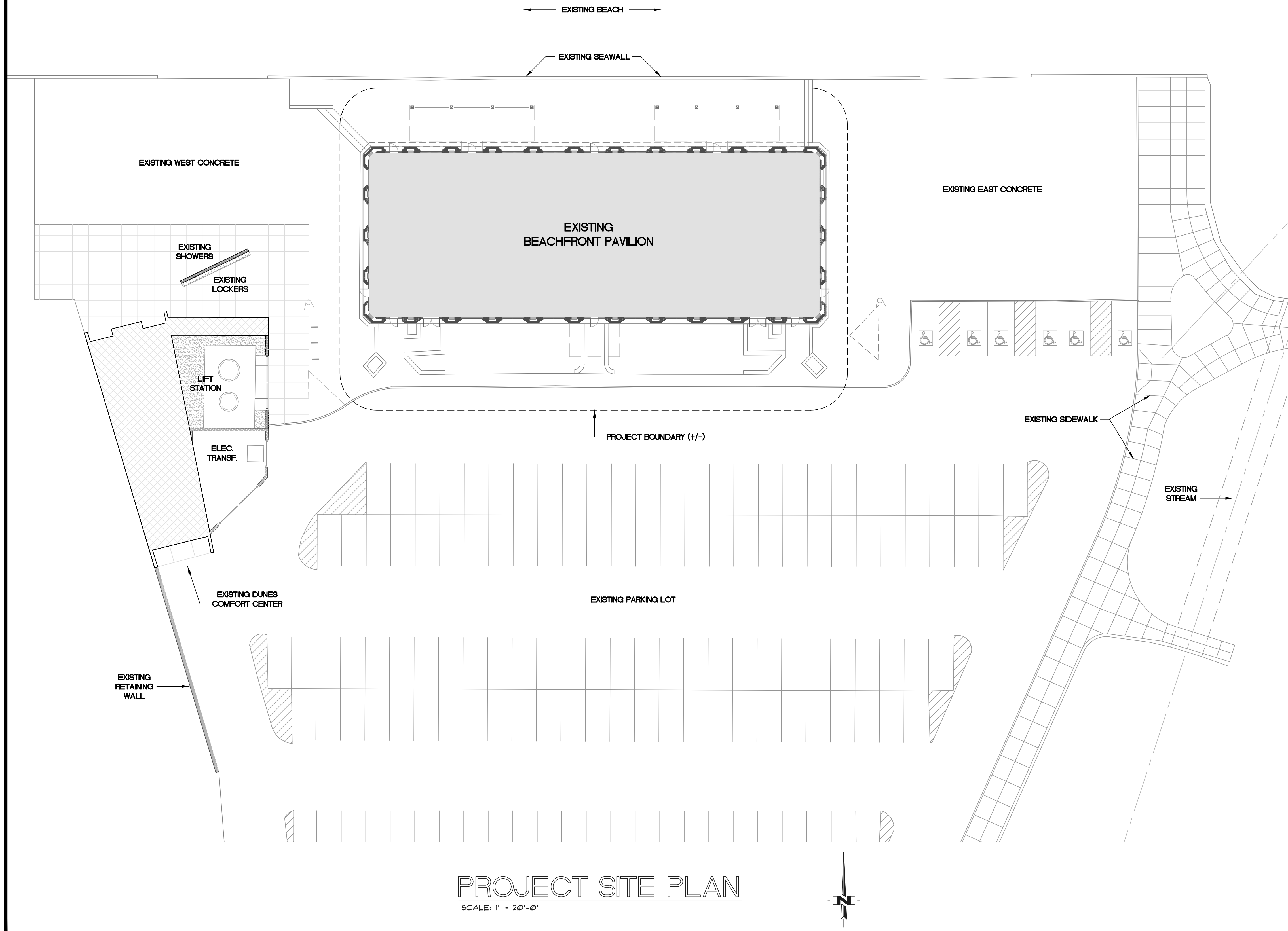


INDIANA DUNES STATE PARK PAVILION RENOVATION

1600 NORTH 25 EAST
CHESTERTON, INDIANA 46304



PROJECT SITE PLAN
SCALE: 1" = 20'-0"

PROJECT DATA:

CONSTRUCTION TYPE: 11-A
OCCUPANCY CLASSIFICATION: GROUP 'A' (ASSEMBLY)
FACILITY USE: RESTAURANT
TOTAL BUILDING AREA: 10,600 GROSS SF. PER FLOOR
x 2 FLOORS + ROOF
31,800 TOTAL GROSS SF.

OCCUPANT LOADS:

12,032 SF. OF RESTAURANT AREA
DIVIDED BY 15 SF. (NET) PER OCCUPANT
803 IN RESTAURANTS (TOTAL)

5,145 SF. OF COMMERCIAL KITCHEN AREA
DIVIDED BY 200 SF. (GROSS) PER OCCUPANT
26 IN KITCHENS (TOTAL)

676 SF. OF RETAIL AREA
DIVIDED BY 30 SF. (GROSS) PER OCCUPANT
23 IN GENERAL STORE (TOTAL)

614 SF. OF BUSINESS AREA
DIVIDED BY 100 SF. (GROSS) PER OCCUPANT
7 IN LIFEGUARD AREA (TOTAL)

NOTE: REMAINING BUILDING AREA IS PRIMARILY ACCESSORY SPACE (WALL AREA, CIRCULATION, RESTROOMS AND UTILITY). REFER TO SHEET L9-1.1 FOR LIFE-SAFETY PLAN.

FIRE PROTECTION:

THE ENTIRE BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM.

APPLICABLE CODES:

- INDIANA BUILDING CODE 2014 (IBC 2012)
- ACCESSIBILITY CODE = ANSI A117.1-2009 (ADA)
- INDIANA PLUMBING CODE 2012
- INDIANA MECHANICAL CODE 2014 (IMC 2012)
- INDIANA ELECTRICAL CODE 2009 (NFPA 70-2009)
- INDIANA FIRE CODE 2014 (IFC 2012)
- INDIANA ENERGY CONSERVATION CODE 2010 (ASHRAE 90.1, 2001)

DRAWING SHEET INDEX:

NO.	NAME
CS-1.1	COVER SHEET, PROJECT INFO, INDEX OF DRAWINGS & SITE PLAN
D-1.1	EXISTING ELEVATIONS & DEMOLITION NOTES
D-3.1	FIRST FLOOR DEMOLITION PLAN
D-3.2	SECOND FLOOR DEMOLITION PLAN
D-3.3	ROOF DEMOLITION PLAN
FR-1.1	RENOVATED PAVILION ELEVATIONS
FR-2.1	NEW FOUNDATION WORK
FR-3.1	RENOVATED FIRST FLOOR PLAN
FR-3.2	RENOVATED SECOND FLOOR PLAN
FR-3.3	RENOVATED ROOF PLAN
FR-4.1	RENOVATED CROSS-SECTION (N to S)
FR-4.2	RENOVATED CROSS-SECTION (E to W)
FR-4.3	NEW MARQUISE - SECTIONS and DETAILS
FR-4.4	NEW EXTERIOR BALCONIES - SECTIONS and DETAILS
FR-4.5	NEW ROOFTOP STRUCTURE - SECTIONS and DETAILS
FR-5.1	FINISH SCHEDULES and INTERIOR ELEVATIONS
FR-6.1	REFLECTED CEILING PLANS
FR-7.1	NEW ROOF FRAMING PLANS
FR-8.1	MISCELLANEOUS DETAILS

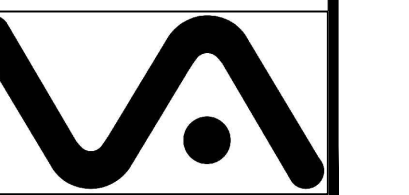
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NO.	DATE	DESCRIPTION
1	12-2-15	INITIAL STATE PLAN REVIEW
2	10-30-17	REVISED PER DNR REVIEW
3	10-31-17	REVISED DRAWINGS TO STATE PLAN REVIEW

INDIANA DUNES STATE PARK
PAVILION RENOVATION
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300 WAVERLY ROAD
PORTER, INDIANA 46304
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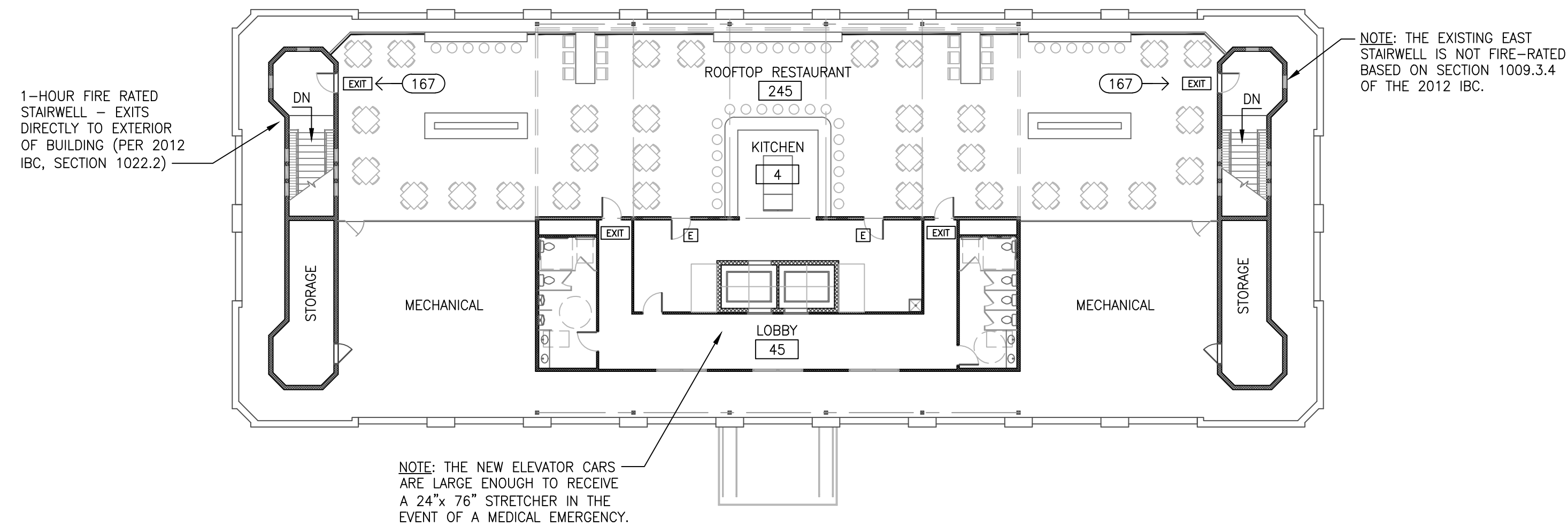
COVER SHEET,
INDEX OF DWG'S
& SITE PLAN

DRAWING NUMBER
CS-1.1

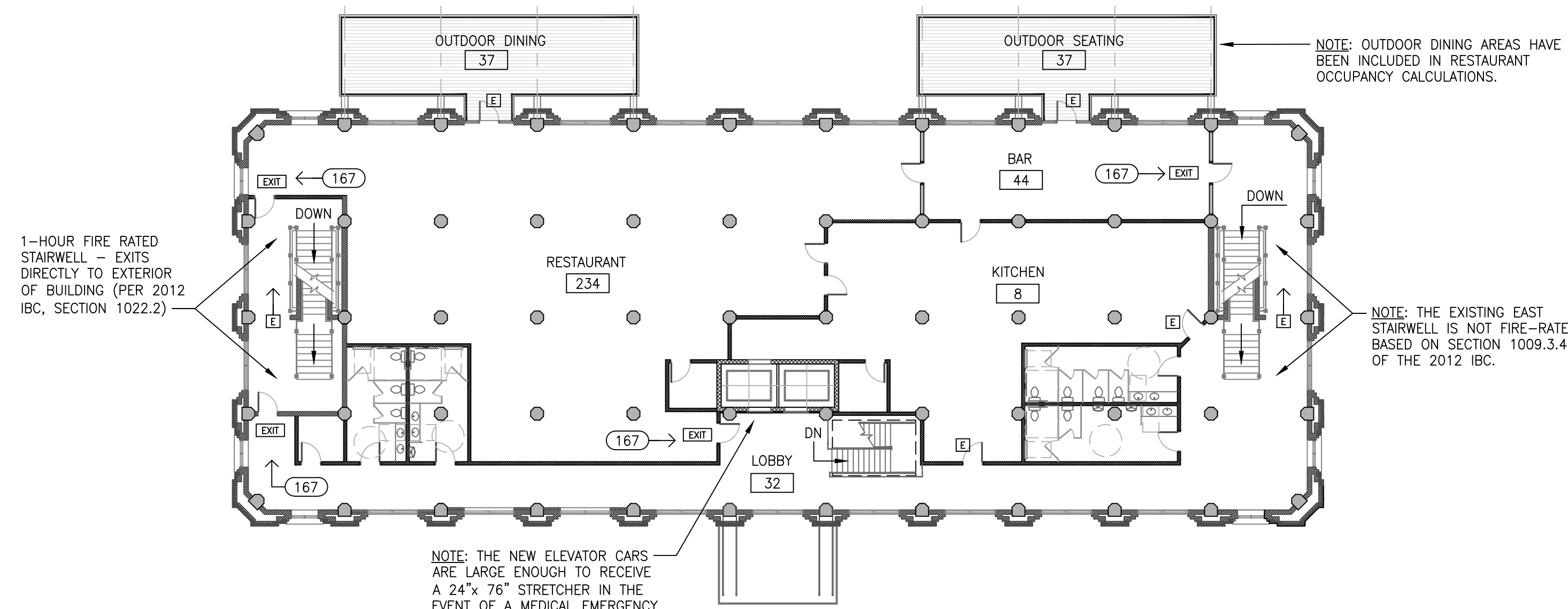
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SHEET 1 OF

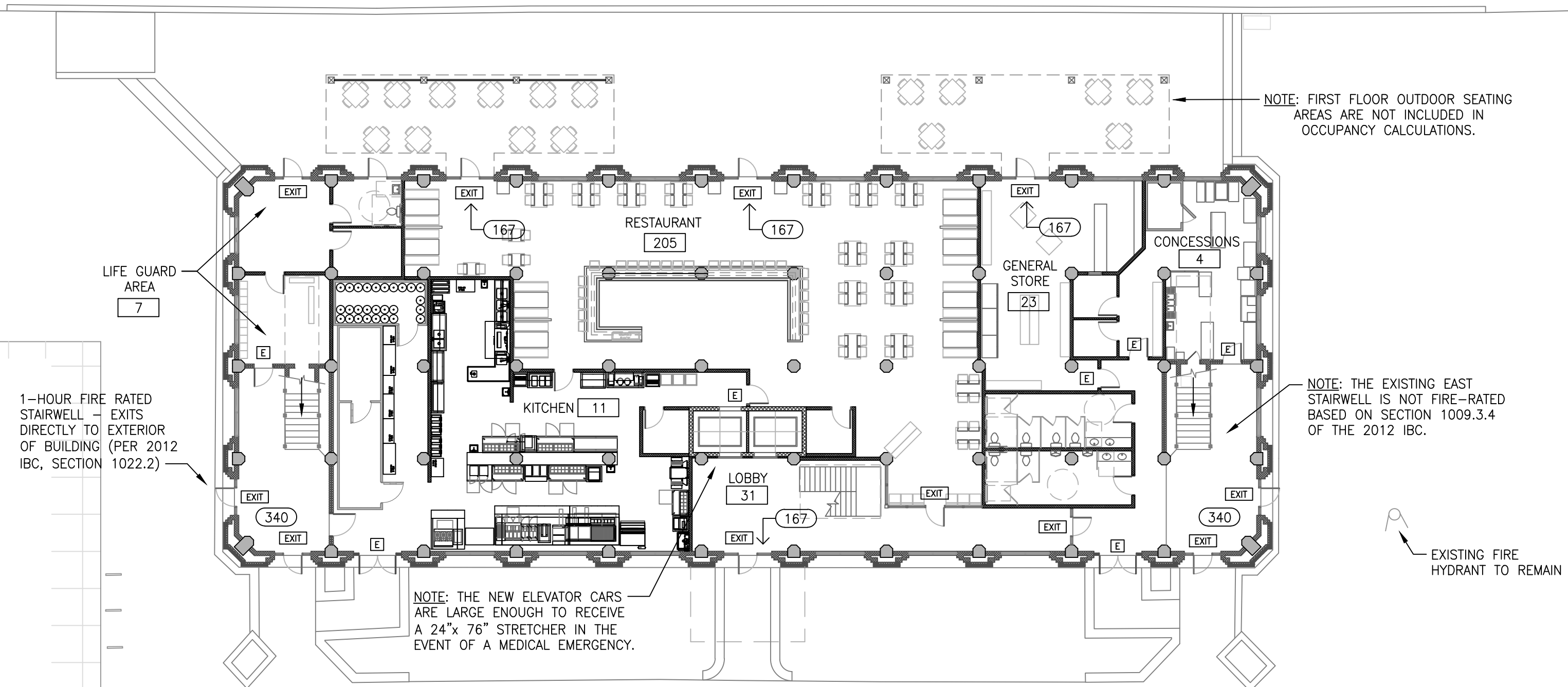
JOB No. V411-06



ROOF



SECOND FLOOR



FIRST FLOOR

EGRESS REQUIREMENTS:

ENTIRE BUILDING:	
EXIT ACCESS TRAVEL DISTANCE (PER 2012 IBC, TABLE 1016.2)	250'
MAX. DEAD END CORRIDOR (PER 2012 IBC, SECTION 1018.4.2)	50'
EGRESS WIDTH PER OCCUPANT (PER 2012 IBC, TABLE 1005.1)	
HALLWAYS	.20"
STAIRWELLS	.20"
DOORS	.20"
36" WIDE DOOR = 33.5" CLEAR	167
72" WIDE DOOR = 68" CLEAR	340
ROOFTOP + SECOND FLOOR:	
ROOF OCCUPANCY	294
SECOND FLOOR OCCUPANCY	392
COMBINED OCCUPANT LOAD =	686
vs.	
MAX. EGRESS CAPACITY PROVIDED =	847
FIRST FLOOR:	
RESTAURANT OCCUPANCY	205
KITCHEN OCCUPANCY	11
LIFEGUARD AREA OCCUPANCY	7
STORE OCCUPANCY	23
CONCESSIONS OCCUPANCY	4
LOBBY OCCUPANCY	31
COMBINED OCCUPANT LOAD (FIRST FLOOR)	281
COMBINED OCCUPANT LOAD (2nd & 3rd FLOORS)	+ 686
COMBINED OCCUPANT LOAD (ALL FLOORS)	= 967
vs.	
MAX. EGRESS CAPACITY PROVIDED =	1,348

FLOOR AREA DATA:

FIRST FLOOR:	
OCCUPANCY TYPE	A-2
BUILDING TYPE	II-A
MAX. AREA PER CODE (sf)	15,500
ACTUAL AREA (gross sf)	10,600
SECOND FLOOR:	
OCCUPANCY TYPE	A-2
BUILDING TYPE	II-A
MAX. AREA PER CODE (sf)	15,500
ACTUAL AREA (gross sf)	10,600
ROOF:	
OCCUPANCY TYPE	A-2
BUILDING TYPE	II-A
MAX. AREA PER CODE (sf)	15,500
ACTUAL AREA (gross sf)	10,600
TOTAL BUILDING SIZE:	
FIRST FLOOR (gross sf)	10,600
SECOND FLOOR (gross sf)	10,600
ROOFTOP (gross sf)	10,600
TOTAL BUILDING (gross sf)	31,800

PLAN LEGEND:

- E = EXIT SIGN
- EXIT = REQUIRED EXIT DOOR OR WAY
- 145 = AREA/ROOM OCCUPANT LOAD
- 167 = DOOR EGRESS CAPACITY

FLAME SPREAD NOTE: INTERIOR WALL AND CEILING FINISHES OF VERTICAL EXITS AND EXIT PASSAGEWAYS/EXIT ACCESS CORRIDORS AND OTHER EXITWAYS, AS WELL AS, ALL ACOUSTICAL CEILING TILES SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN B.

NOTE: THE ENTIRE BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM.

LIFE SAFETY PLANS

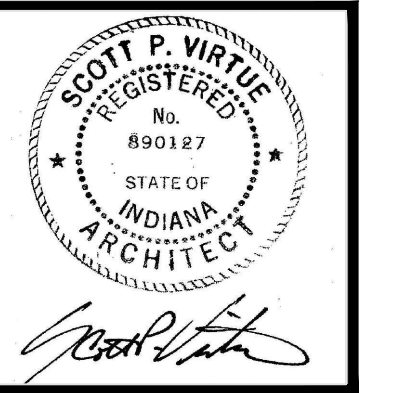
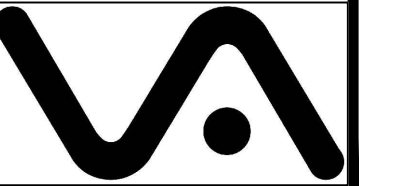
SCALE: 1/16" = 1'-0"

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2	2-2-15 FOR STATE PLAN REVIEW
3	18-3-17 REVISED DRAWINGS TO STATE PLAN REVIEW

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LIFE SAFETY FLOOR PLANS
DRAWING NUMBER **LS-1.1**
DRAWN BY: SV 4 AB
SHEET OF
JOB No. VAI17-06

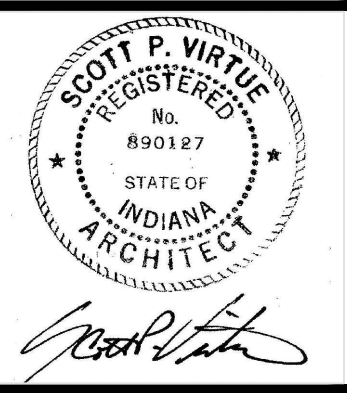
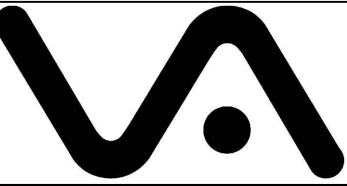
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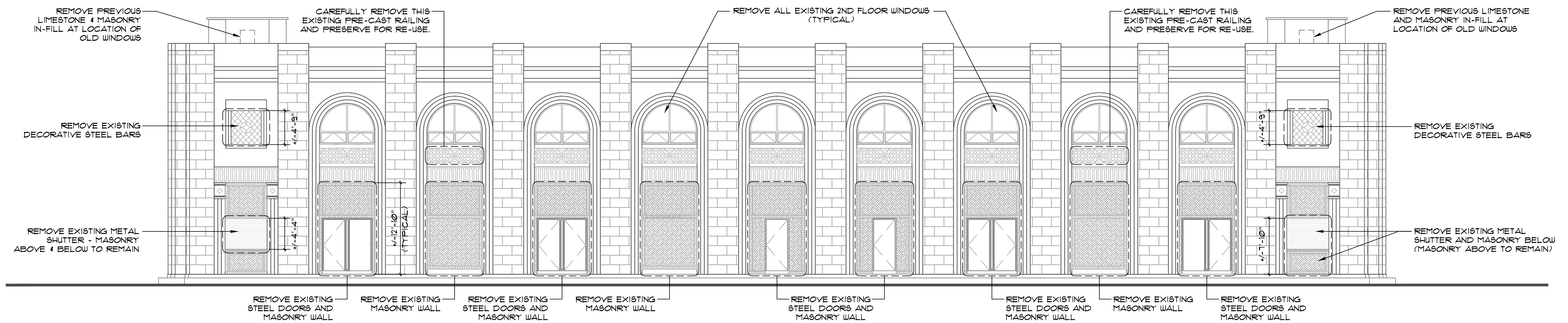
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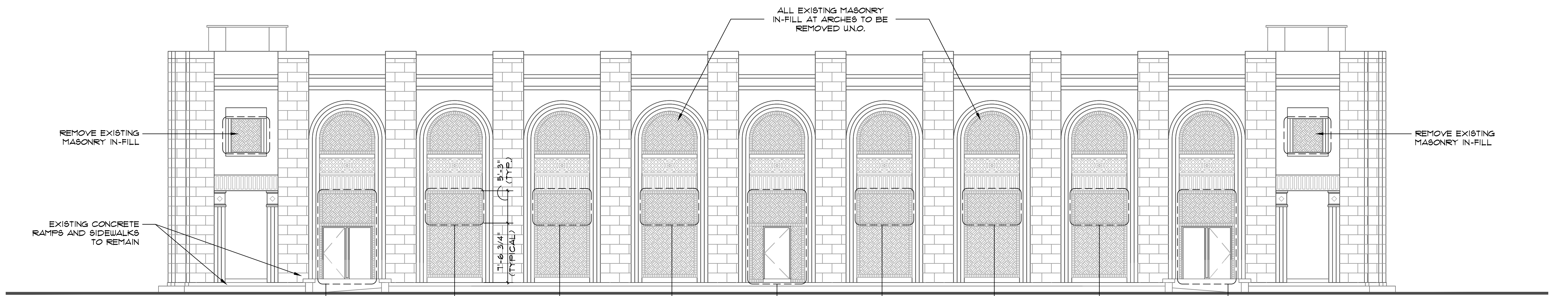


EXISTING ELEVATIONS & DEMO NOTES
 DRAWING NUMBER
D-1.1
 DRAWN BY: SV & AB
 SHEET OF
 JOB No. V417-06



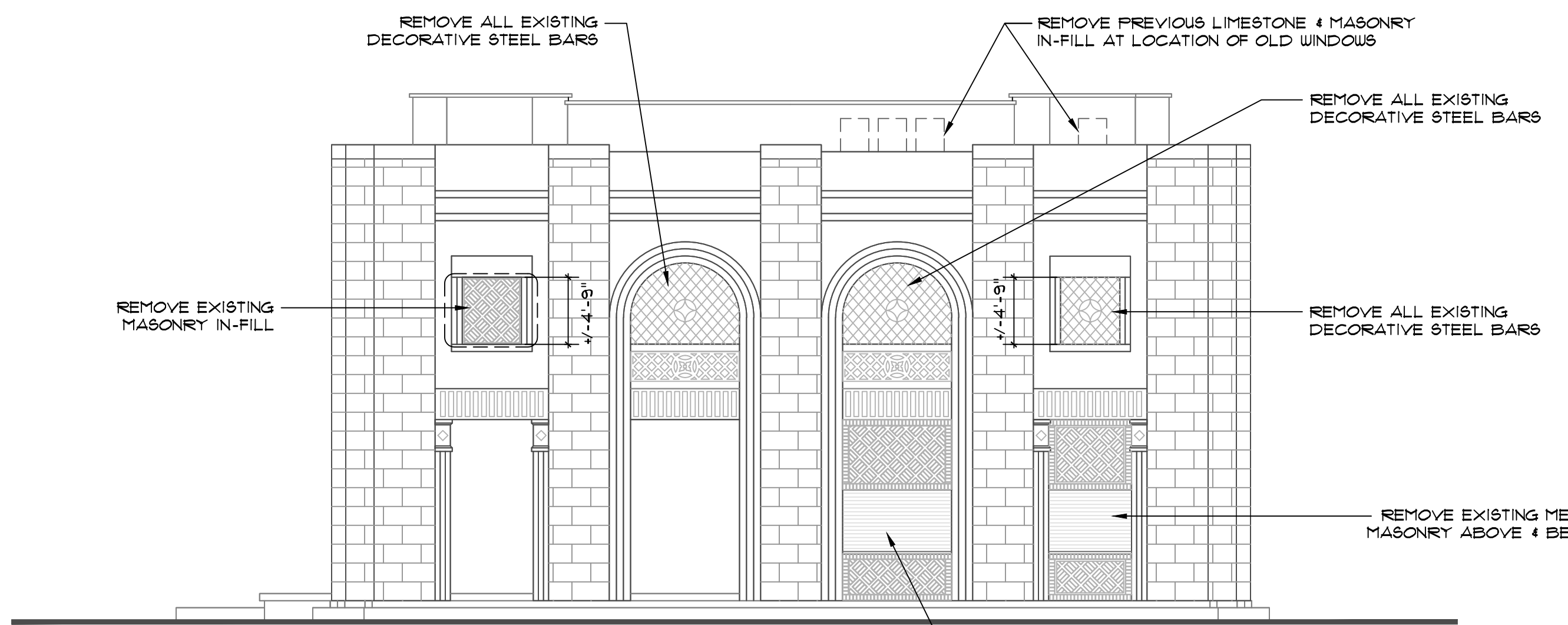
EXISTING NORTH ELEVATION

SCALE: 1/8" = 1'-0"



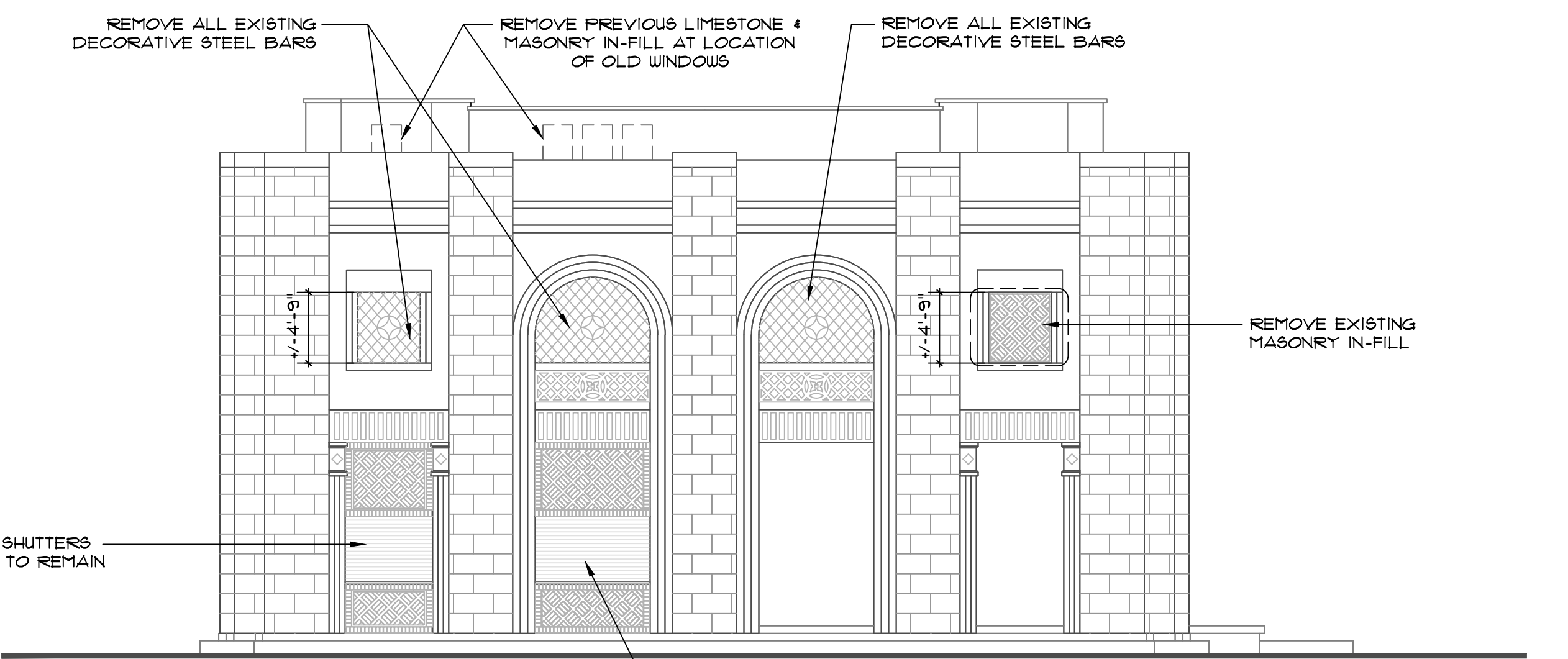
EXISTING SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING EAST ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING WEST ELEVATION

SCALE: 1/8" = 1'-0"

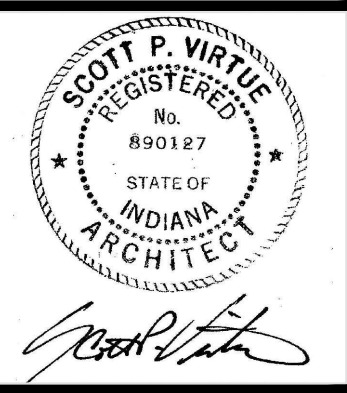
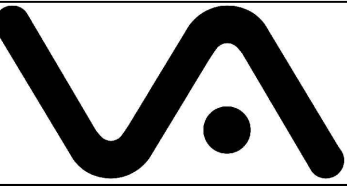
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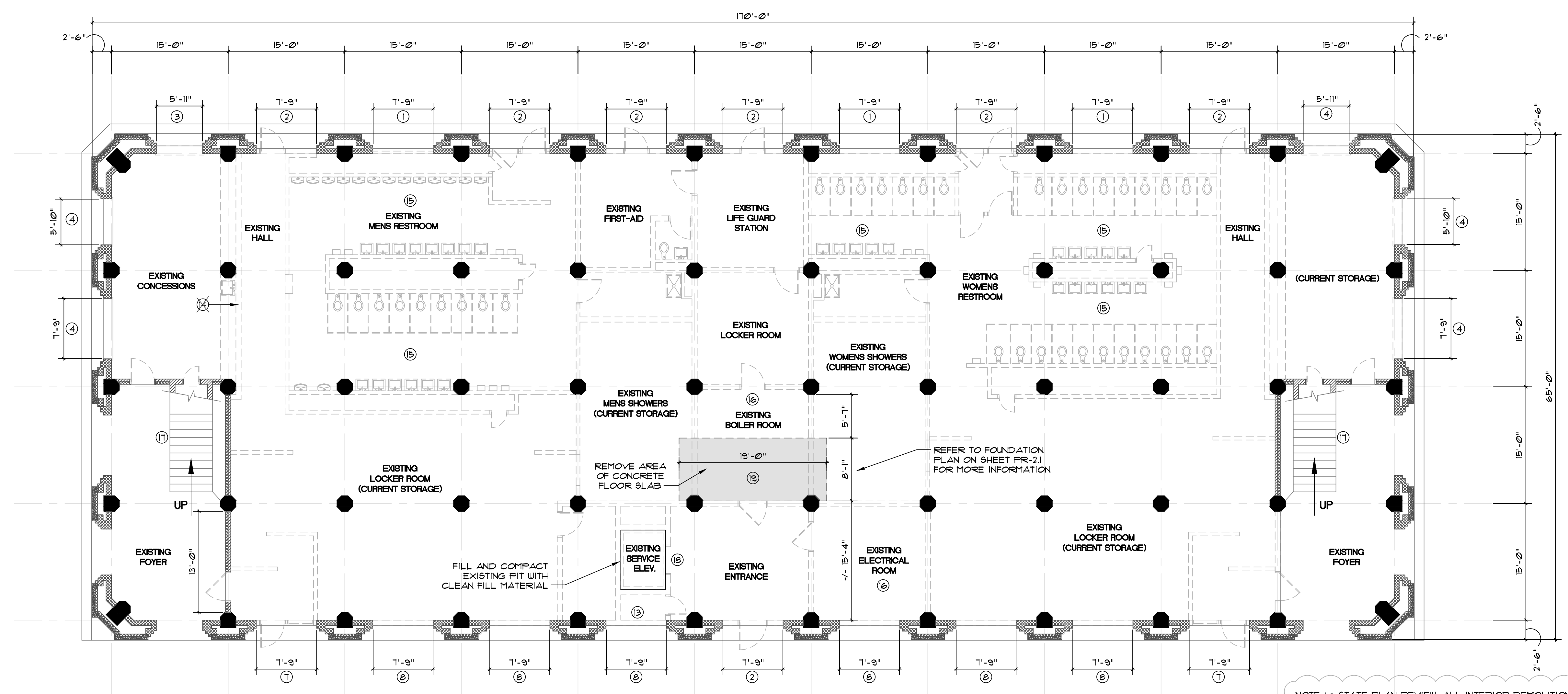
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FIRST FLOOR DEMOLITION PLAN
 DRAWING NUMBER
D-3.1
 DRAWN BY: SV 4 AB
 SHEET OF
 JOB No. V417-06

EXISTING CONCRETE RETAINING WALL

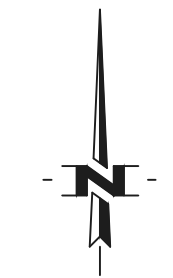
EXISTING CONCRETE RETAINING WALL (SEA WALL)



NOTE 1c STATE PLAN REVIEW: ALL INTERIOR DEMOLITION HAS BEEN COMPLETED SINCE RECEIVING THE DESIGN RELEASE IN 2015. REMAINING DEMOLITION PRIMARILY CONSISTS OF THE REMOVAL OF THE 1912 BRICK AND BLOCK IN-FILL OF THE ORIGINAL 1930'S EXTERIOR FENESTRATION. ALSO, THE ENTIRE FIRST FLOOR INTERIOR SLAB HAS BEEN REMOVED.

FIRST FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



DEMOLITION PLAN NOTES: (FOR ENTIRE BUILDING)

- REMOVE EXISTING MASONRY WALL BELOW 2nd FLOOR STRUCTURE.
- REMOVE EXISTING STEEL DOORS AND MASONRY WALL BELOW 2nd FLOOR STRUCTURE.
- REMOVE EXISTING METAL SHUTTER AND BRICK BELOW. MASONRY ABOVE TO REMAIN.
- REMOVE EXISTING METAL SHUTTER - BRICK ABOVE AND BELOW TO REMAIN.
- REMOVE EXISTING 2nd FLOOR WINDOWS.
- REMOVE EXISTING DECORATIVE STEEL BARS AT SECOND FLOOR.
- REMOVE EXISTING DOUBLE STEEL DOORS AND MASONRY ABOVE.
- REMOVE UPPER HALF OF MASONRY WALL (MASONRY BELOW TO REMAIN).
- ALL EXISTING MASONRY IN-FILL AT 2nd FLOOR ARCHES TO BE REMOVED UNLESS NOTED OTHERWISE (UNO.) SEE GENERAL DEMOLITION NOTES.
- REMOVE EXISTING MASONRY IN-FILL.
- REMOVE EXISTING CONCRETE RAILING (PRESERVE FOR RE-USE AT EXTERIOR DINING TERRACE ON FIRST FLOOR).
- EXISTING CONCRETE RAILING TO BE REMOVED DURING CONSTRUCTION OF FUTURE ADDITION (PRESERVE FOR RE-USE IN NEW FIRST FLOOR GALLERY).
- REMOVE 4 CAP EXISTING GAS SERVICE FOR POSSIBLE RE-USE.
- CREATE MASONRY OPENING IN WALL FOR 3'-4"x1'-4" HOLLOW METAL DOOR FRAME.
- EXISTING RESTROOMS - REMOVE TOILETS, URINALS, SINKS, TOILET PARTITIONS, RESTROOM ACCESSORIES, PLUMBING, ELECTRIC, LIGHTING, WALLS & SUSPENDED CEILING SYSTEM.
- REMOVE EXISTING WATER, ELECTRIC AND BOILER EQUIPMENT AND ALL ASSOCIATED CONNECTIONS.
- EXISTING STAIRCASE TO REMAIN.
- REMOVE EXISTING ELEVATOR AND SURROUNDING WALLS.
- REMOVE EXISTING FLOOR SLAB FOR NEW ELEVATOR PIT AND SHAFT.
- REMOVE PREVIOUS MASONRY IN-FILL AT LOCATION OF OLD WINDOWS IN ROOFTOP STAIRWELLS. FIELD-VERIFY WINDOW OPENINGS.
- PRESERVE EXISTING VERTICAL CHASE.
- REMOVE ALL EXISTING MECHANICAL EQUIPMENT FROM ROOF.
- REMOVE EXISTING BALLAST PAVERS (REFER TO NEW ROOF PLAN FOR MORE INFORMATION).

GENERAL DEMOLITION NOTES:

- REFER TO ELEVATIONS ON SHEET D-11 FOR REMOVAL HEIGHTS.
- REMOVE SUSPENDED CEILING SYSTEM ON FIRST AND SECOND FLOORS.
- NOTE: BOTTOM OF 2nd FLOOR STRUCTURE = 12'-3 3/4" ABOVE FIRST FLOOR.
- ALL ORIGINAL BRICK FROM 1930 ARCHED OPENINGS TO REMAIN INCLUDING FULL HEIGHT OF SIDE JAMBS FROM BASE TO CENTER OF ARCH. CONTACT ARCHITECT IF QUESTIONABLE AREAS ARE ENCOUNTERED.

DEMOLITION DRAWING LEGEND:

- SEE CORRESPONDING GENERAL DEMOLITION NOTE.
- REMOVE DOOR (TYPICAL).
- REMOVE FLOOR, WALL, CEILING, CASEWORK, OR RESTROOM FIXTURE (TYPICAL).
- EXISTING INTERIOR COLUMN TO REMAIN (TYPICAL).
- EXISTING EXTERIOR COLUMN AND FACADE TO REMAIN (TYPICAL).
- EXISTING WALL TO REMAIN (TYPICAL).

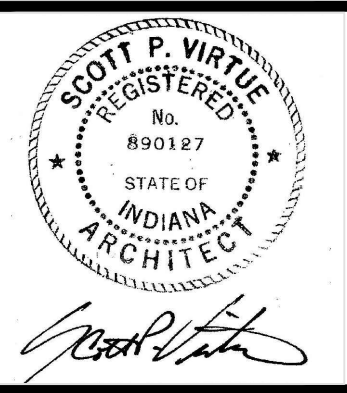
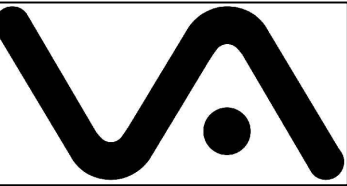
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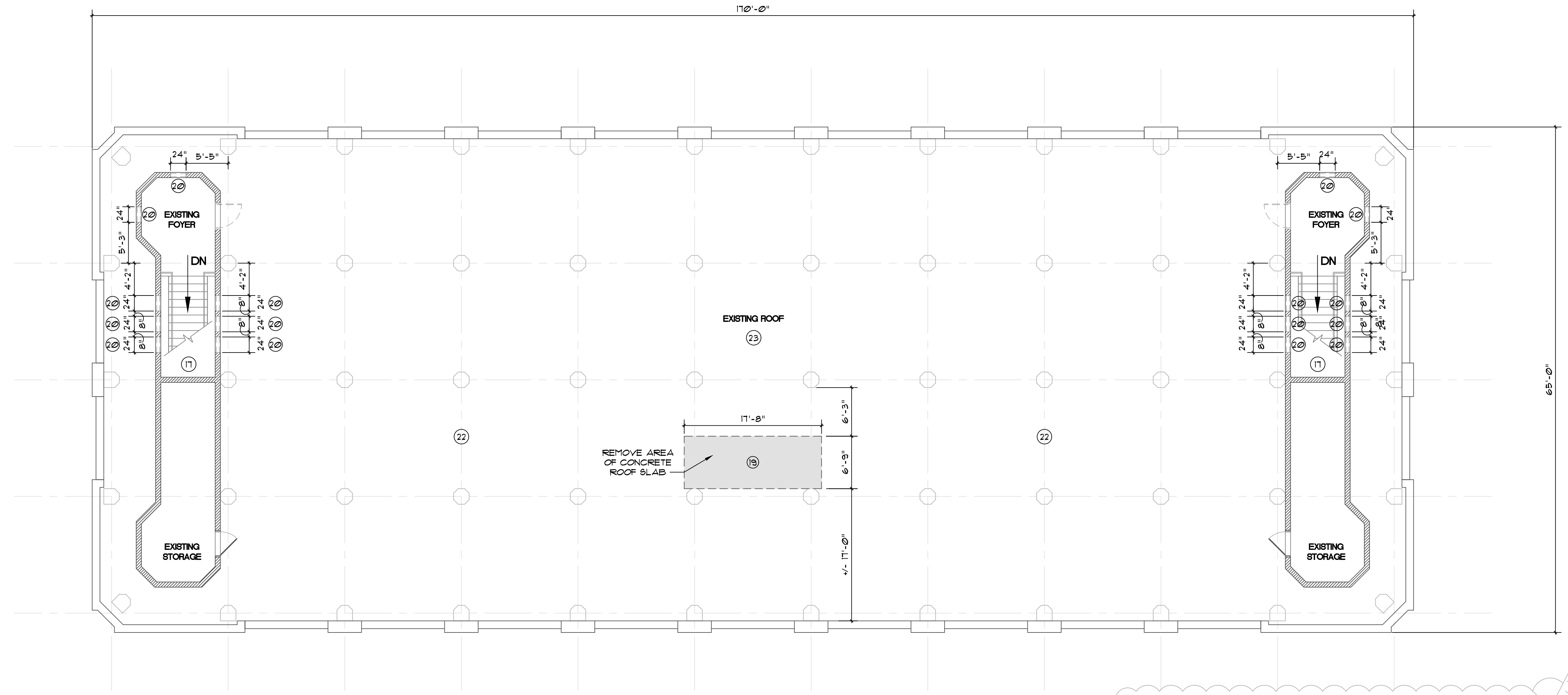
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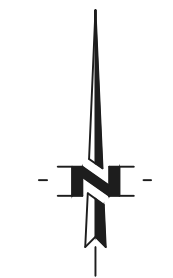
ROOF DEMOLITION PLAN
 DRAWING NUMBER
D-3.3
 DRAWN BY: SV & AB
 SHEET OF
 JOB No. V417-06



NOTE TO STATE PLAN REVIEW: THE FIRST LAYER OF A MULTI-LAYER "WALKABLE" MEMBRANE ROOF SYSTEM WAS INSTALLED IN LATE 2016. ALL EXISTING OPENINGS IN THE ROOF WERE COVERED AND SECURED WITH 1/4" STEEL PLATE MATERIAL WITH THE ABILITY TO REMOVE, IF REQUIRED, FOR FUTURE USE. ADDITIONAL WORK TO INCLUDE INSTALLATION OF RIGID INSULATION AND THE FINAL MEMBRANE FINISH.

ROOF DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



DEMOLITION PLAN NOTES: (FOR ENTIRE BUILDING)

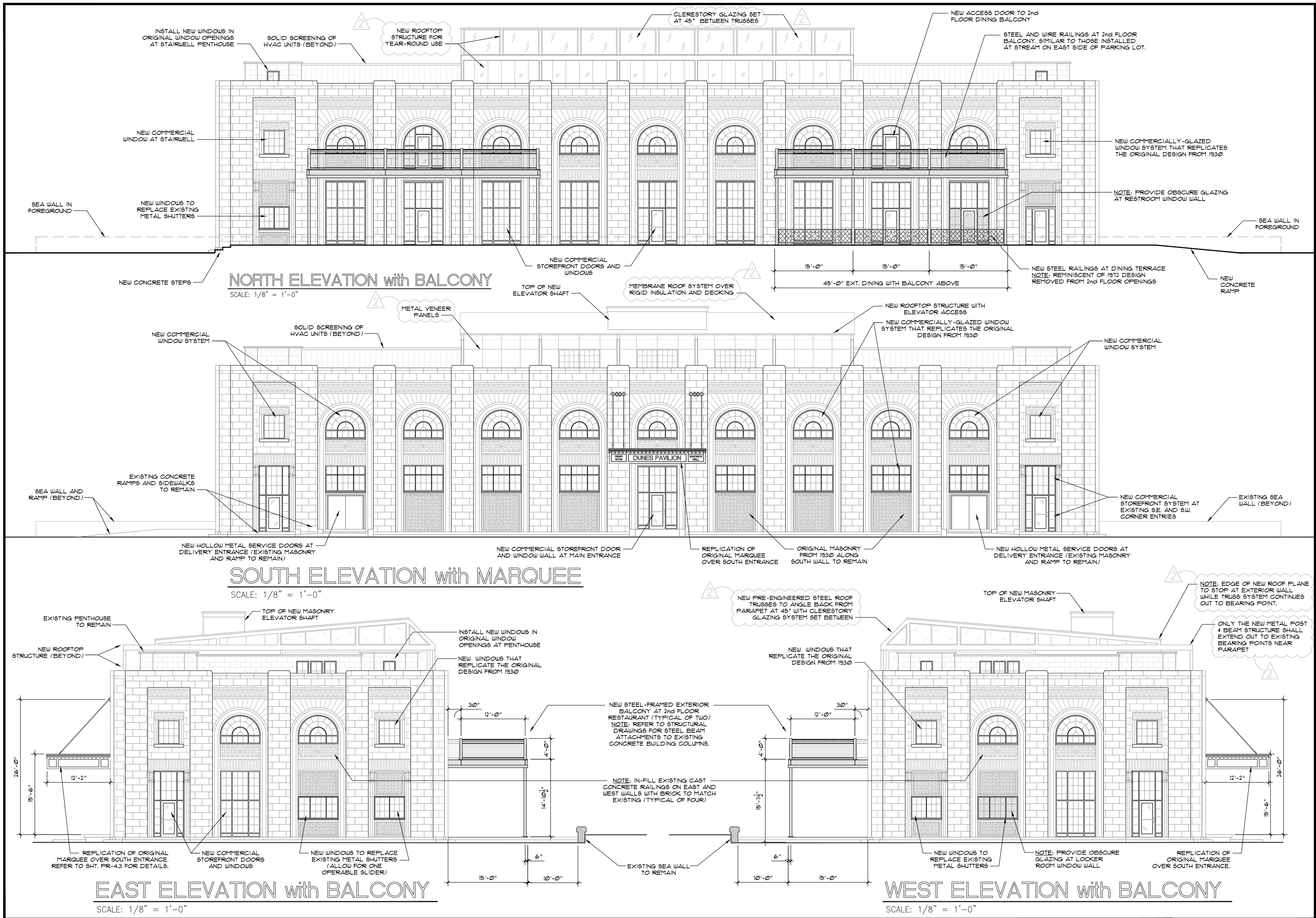
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- REMOVE ALL EXISTING MECHANICAL EQUIPMENT FROM ROOF.
- REMOVE EXISTING BALLAST PAVERS (REFER TO NEW ROOF PLAN FOR MORE INFORMATION).

GENERAL DEMOLITION NOTES:

- REFER TO ELEVATIONS ON SHEET D-11 FOR REMOVAL HEIGHTS.
- REMOVE SUSPENDED CEILING SYSTEM ON FIRST AND SECOND FLOORS.
- NOTE: BOTTOM OF 2nd FLOOR STRUCTURE = 12'-3 3/4" ABOVE FIRST FLOOR.
- ALL ORIGINAL BRICK FROM 1930 ARCHED OPENINGS TO REMAIN INCLUDING FULL HEIGHT OF SIDE JAMBS FROM BASE TO CENTER OF ARCH. CONTACT ARCHITECT IF QUESTIONABLE AREAS ARE ENCOUNTERED.

DEMOLITION DRAWING LEGEND:

- ⊗ SEE CORRESPONDING GENERAL DEMOLITION NOTE.
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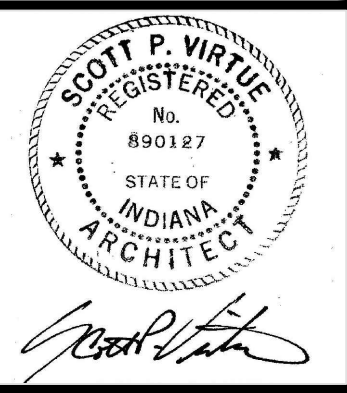
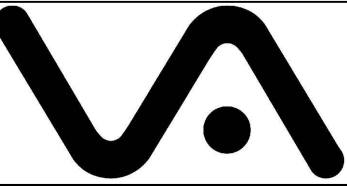
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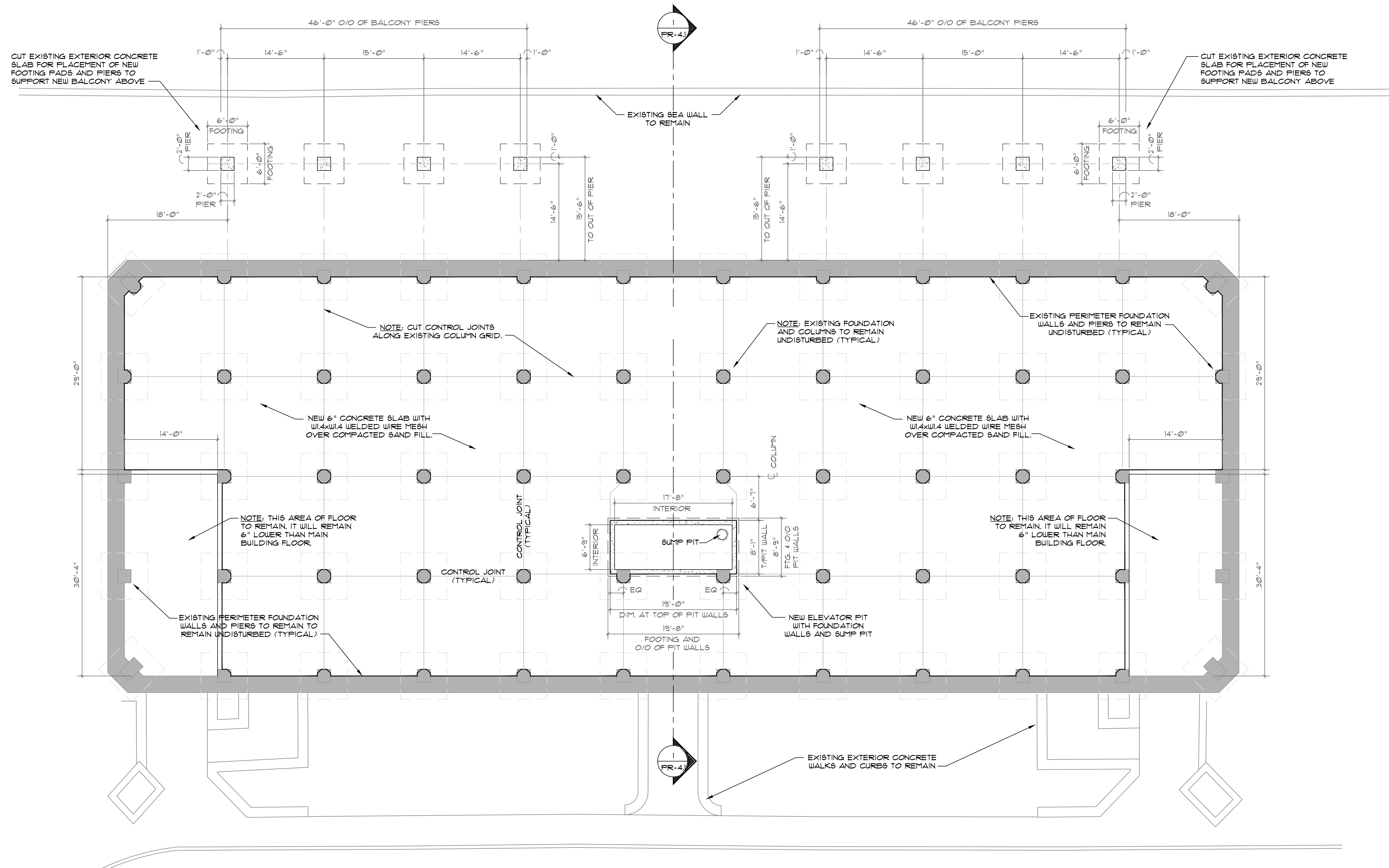
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RENOVATED PAVILION ELEVATIONS

DRAWING NUMBER
PR-1.1

DRAWN BY: SV & AB
 SHEET OF
 JOB NO. VAI17-06



CUT EXISTING EXTERIOR CONCRETE SLAB FOR PLACEMENT OF NEW FOOTING PADS AND PIERS TO SUPPORT NEW BALCONY ABOVE

CUT EXISTING EXTERIOR CONCRETE SLAB FOR PLACEMENT OF NEW FOOTING PADS AND PIERS TO SUPPORT NEW BALCONY ABOVE

EXISTING SEA WALL TO REMAIN

NOTE: CUT CONTROL JOINTS ALONG EXISTING COLUMN GRID.

NOTE: EXISTING FOUNDATION AND COLUMNS TO REMAIN UNDISTURBED (TYPICAL)

EXISTING PERIMETER FOUNDATION WALLS AND PIERS TO REMAIN UNDISTURBED (TYPICAL)

NEW 6" CONCRETE SLAB WITH W4xW4 WELDED WIRE MESH OVER COMPACTED SAND FILL

NEW 6" CONCRETE SLAB WITH W4xW4 WELDED WIRE MESH OVER COMPACTED SAND FILL

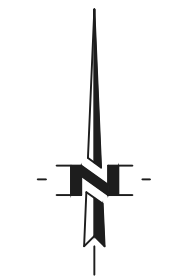
NOTE: THIS AREA OF FLOOR TO REMAIN, IT WILL REMAIN 6" LOWER THAN MAIN BUILDING FLOOR

NOTE: THIS AREA OF FLOOR TO REMAIN, IT WILL REMAIN 6" LOWER THAN MAIN BUILDING FLOOR

EXISTING PERIMETER FOUNDATION WALLS AND PIERS TO REMAIN UNDISTURBED (TYPICAL)

NEW ELEVATOR PIT WITH FOUNDATION WALLS AND SUMP PIT

EXISTING EXTERIOR CONCRETE WALKS AND CURBS TO REMAIN



NEW FOUNDATION WORK

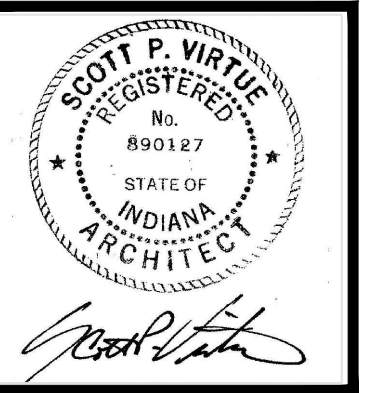
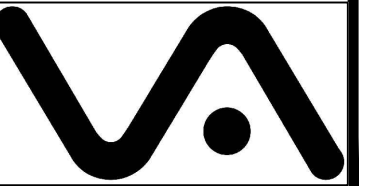
SCALE: 1/8" = 1'-0"

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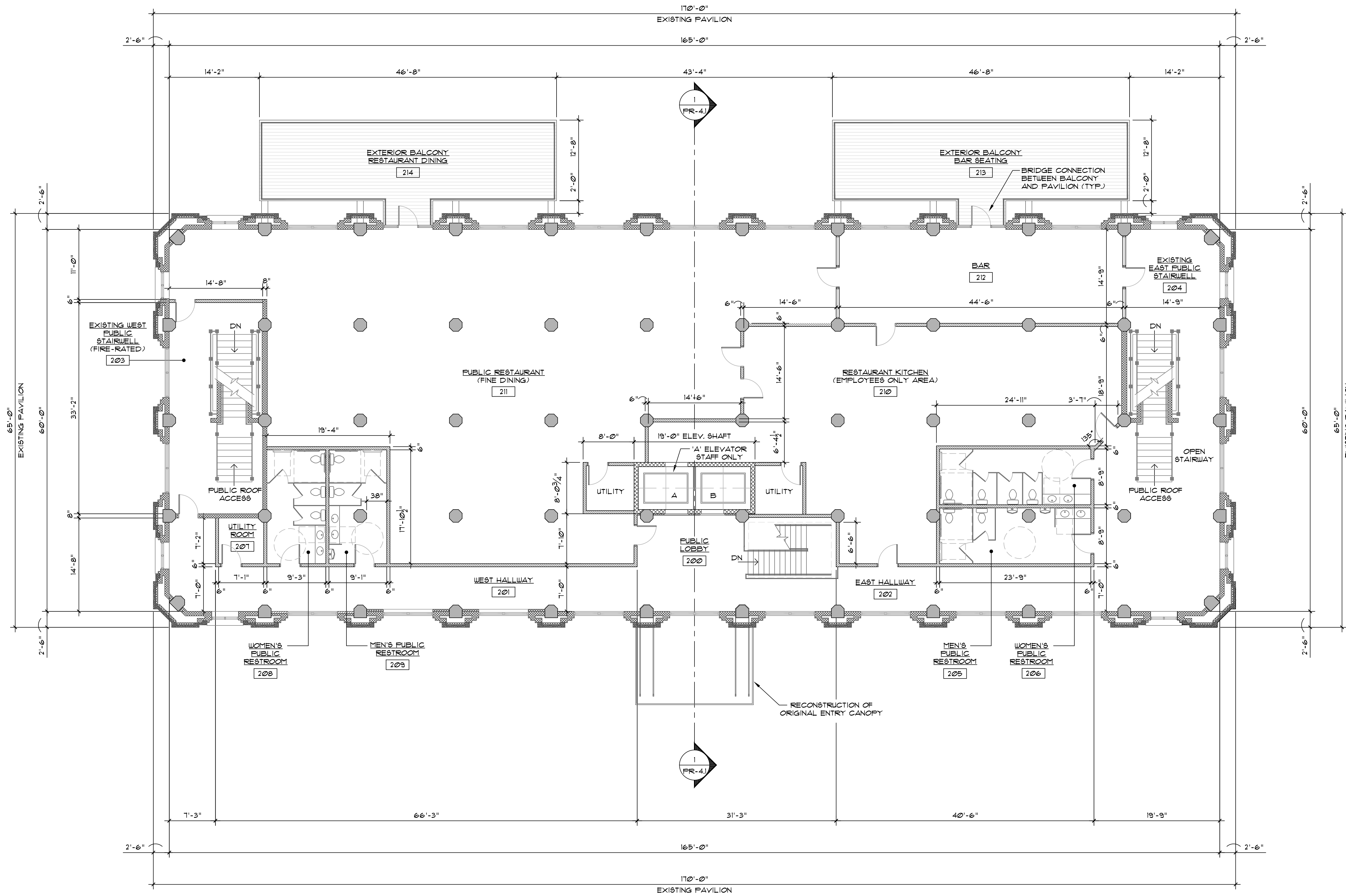
SUBMITTALS & REVISIONS	
1	1-13-15 FOR DNR / DHPA REVIEW
2	2-2-15 FOR STATE PLAN REVIEW
3	8-3-17 REVISED DRAWINGS TO STATE PLAN REVIEW

INDIANA DUNES STATE PARK
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NEW FOUNDATION WORK
DRAWING NUMBER
PR-2.1
DRAWN BY: SV & AB
SHEET OF
JOB No. V417-26



RENOVATED SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

PLAN NOTES:

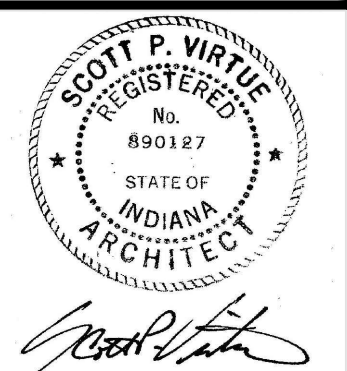
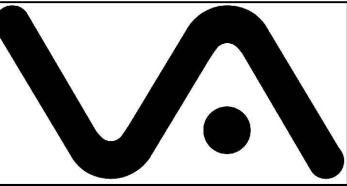
- ALL EXTERIOR DOORS AND WINDOWS ARE CLEAR ANODIZED ALUMINUM FRAMING WITH 1" INSULATED COMMERCIAL GLAZING.
- ALL INTERIOR DOORS ARE 3'x7'.
- ALL NEW INTERIOR WALLS ARE 3/8" METAL STUDS AT 16" O.C. WITH 5/8" TYPE 'X' DRYWALL EACH SIDE UNLESS NOTED OTHERWISE (UNO).
- FILL ALL NEW INTERIOR FRAMED WALLS WITH SOUND BATTING.

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SUBMITTALS & REVISIONS	
1	2-2-15 INITIAL STATE PLAN REVIEW
2	16-30-17 REVISED PER DNR REVIEW
3	18-3-17 REVISED DRAWINGS 10
	STATE PLAN REVIEW

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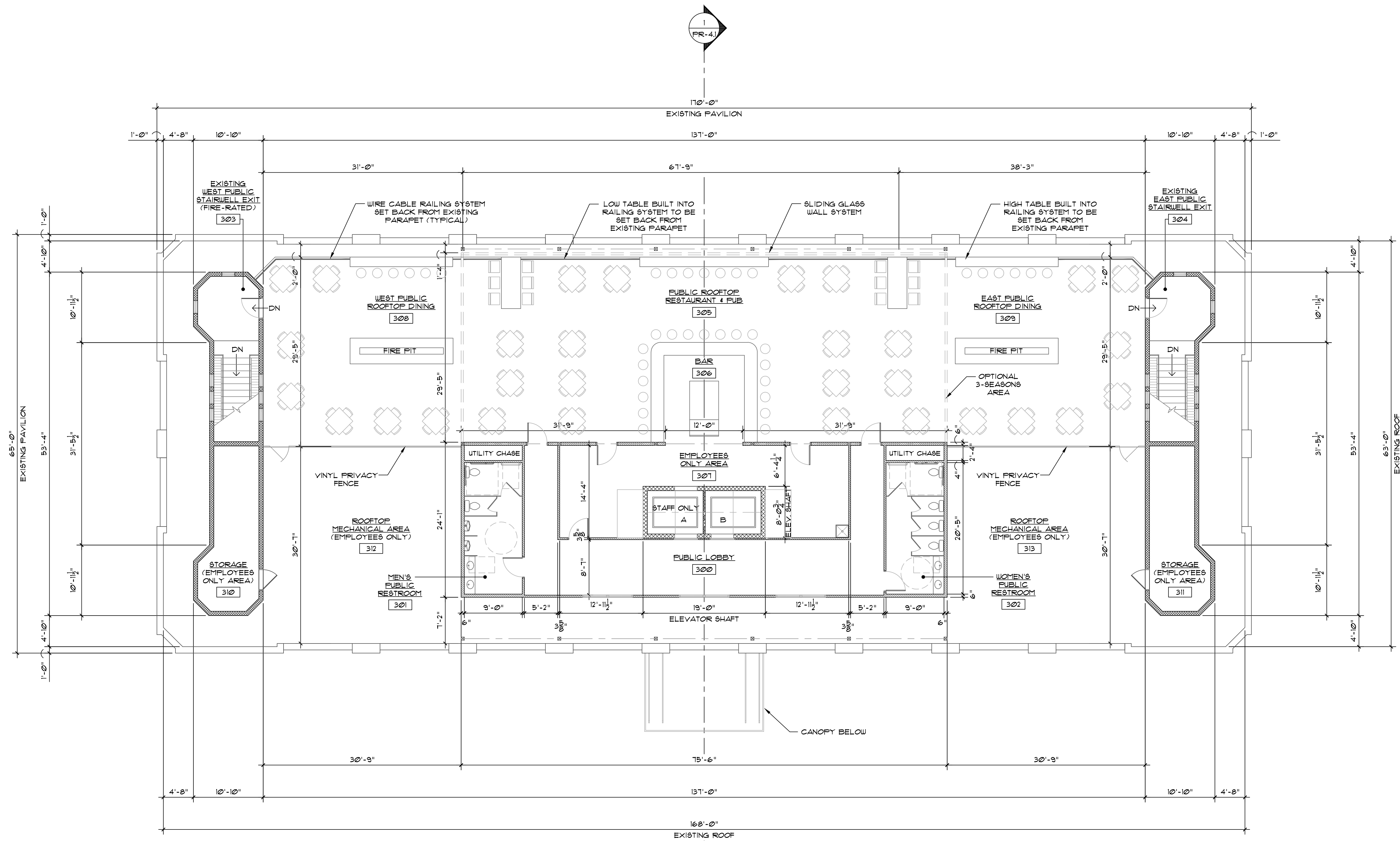
RENOVATED PAVILION 2nd FLOOR PLAN

DRAWING NUMBER
PR-3.2

DRAWN BY: SV & AB

SHEET OF

JOB No. VAI17-06



RENOVATED ROOF PLAN

SCALE: 1/8" = 1'-0"

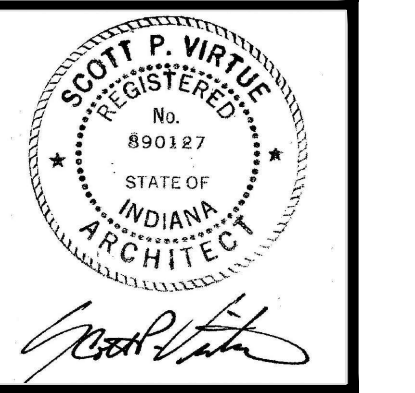
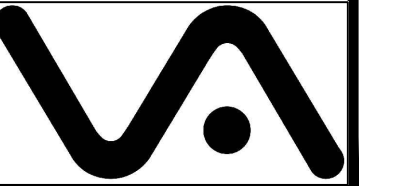
- PLAN NOTES:**
- ALL EXTERIOR DOORS AND WINDOWS SHALL BE PAINTED (BLACK) ALUMINUM FRAMING WITH 1" INSULATED COMMERCIAL GLAZING.
 - ALL INTERIOR DOORS ARE 3'x7' UNLESS NOTED OTHERWISE (U.N.O.) REFER TO DOOR SCHEDULE FOR VARIOUS FIRE RATINGS.
 - ALL DEMISING WALLS AND PLUMBING WALLS SHALL BE 6" METAL STUDS AT 16" O.C. WITH 5/8" TYPE 'X' DRYWALL EACH SIDE (U.N.O.)
 - ALL OTHER INTERIOR WALLS SHALL BE 3 1/2" METAL STUDS AT 16" O.C. WITH 5/8" TYPE 'X' DRYWALL EACH SIDE (U.N.O.)
 - FILL ALL NEW INTERIOR FRAMED WALLS WITH SOUND BATTING.

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SUBMITTALS & REVISIONS	
1	2-2-15 INITIAL STATE PLAN REVIEW
2	16-30-17 REVISED PER DNR REVIEW
3	18-31-17 REVISED DRAWINGS TO STATE PLAN REVIEW

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RENOVATED PAVILION ROOF PLAN
 DRAWING NUMBER
PR-3.3
 DRAWN BY: SV 4 AB
 SHEET OF
 JOB No. VAI7-26

